

DESCHUTES RIVER RANCH

Design Guidelines—Revised 11/2021

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I. INTRODUCTION

The Deschutes River Ranch (DRR) Design Guidelines have been created to assist you in designing and building your home in a manner that preserves the natural beauty of the Ranch, maintains a high standard of quality for all homes and serves to protect home values for you and your neighbors.

The intent of these guidelines is to ensure that homes and all improvements are of a consistent quality, are aesthetically appealing, preserve view lines and protect your privacy. Our Design Review Committee (DRC) exists to work with you and your architect/designer to approve your plans expeditiously, as long as they are consistent with the Design Guidelines. Please be assured our review process will be "merit-based" and that we are looking for good ideas and quality homes.

These Design Guidelines are supplemental to the Declaration of Covenants, Conditions and Restrictions (CC&Rs) for DRR first recorded on March 11, 2003 in Deschutes County, Oregon.

The Guidelines are to be used by all home site owners and their designers and builders, to govern new development, additions, landscaping, changes and alterations at DRR.

The Guidelines will be administered and enforced by a Design Review Committee (DRC) in accordance with procedures designated in this document and in the CC&Rs.

This document was adopted by the Committee on March 4, 2003 and has been amended as needed by the Committee. It is the responsibility of each owner to obtain and review a copy of the most recently revised Design Guidelines prior to submitting plans to the DRC for review. No prior build or build element shall be considered to set a precedent. Each build is evaluated based on the lot, current Design Guidelines and current CC&Rs.

GOVERNING REGULATIONS

All development shall conform to the following:

- The most recent version of this document in effect on the date that the Owner's Architectural Design Submittal, with all required items as shown on Exhibit D is received by the DRC
- The Declaration of Covenants, Conditions and Restrictions for DRR
- All applicable Deschutes County Ordinances, Regulations, Overlay Zones and Codes
- Applicable Local, State and Federal Codes and Regulations.

2. GRAPHIC OVERVIEW

The following three pages provide a graphic representation of the property from a macro view of the General Plan for the entire ranch, a zoom in from this map showing in greater detail the Initial Offering and then focus on a single lot which we call the Homesite Evaluation.

1. 1 GENERAL PLAN (PAGE 5)

The General Plan was created from an aerial photograph. The darker colored portion outlines the 450-acre Deschutes River Ranch. The lighter colored elliptical-shaped background represents the adjacent patchwork of rural farming parcels here in Tumalo.

Because this is from a photograph it is interesting to note that every green dot represents a real tree. The proportions and scale of each element are accurate. The rooftops within the community have been added by the designer to help visualize the completed neighborhood and assist in the planning and design process.

2.2 INITIAL OFFERING (PAGE 6)

This is a cropped portion of the General Plan (page 5) providing a more detailed view of the Initial Offering which consists of the Community homesites and the four Estate homesites.

2.3 SAMPLE HOMESITE EVALUATION (PAGE 7)

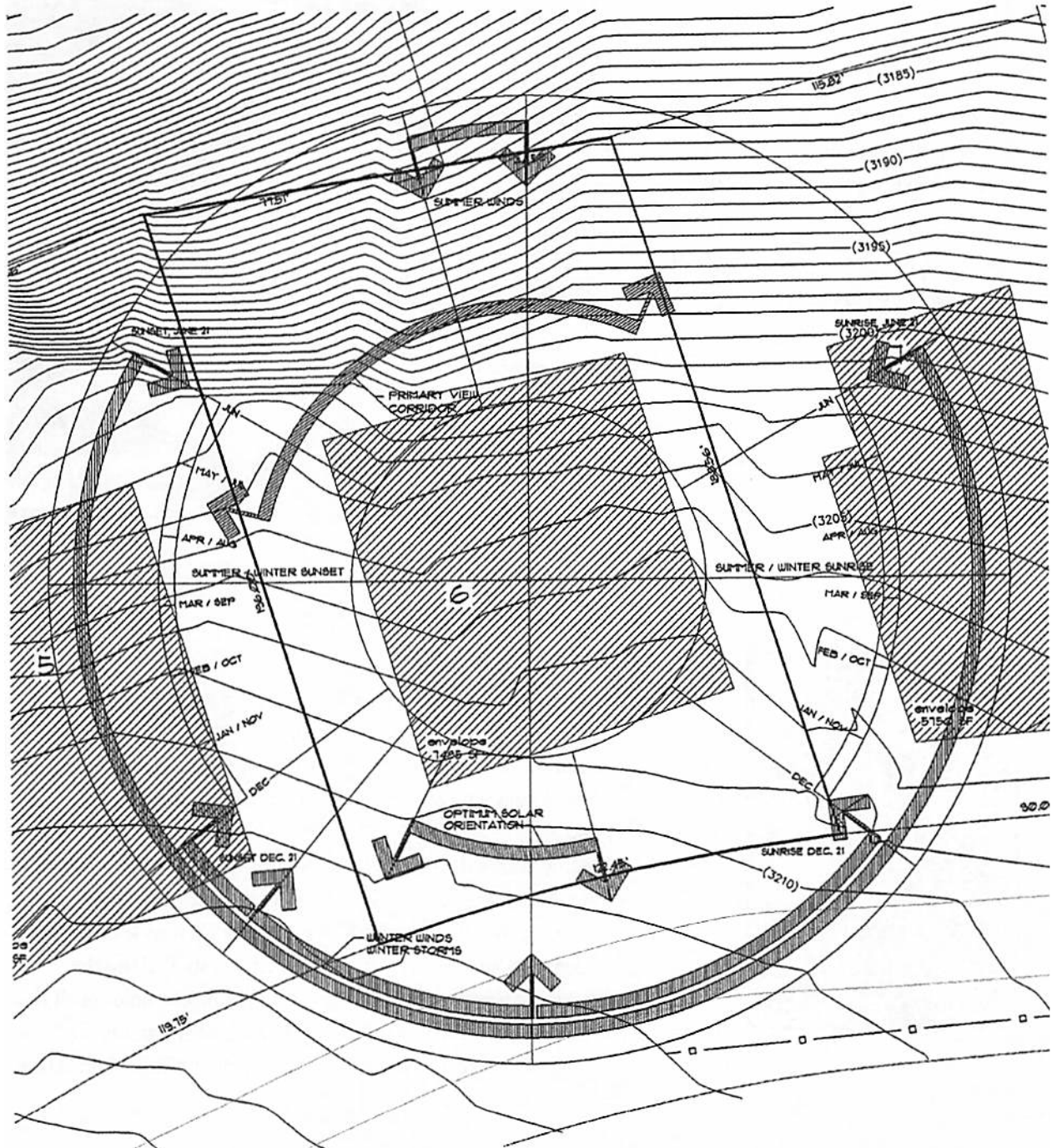
This is a sample of the Homesite Evaluation Maps that have been created for each homesite. This map defines the lot perimeter and dimensions, building envelope, land contours, seasonal solar orientation, seasonal wind direction and primary view corridor. It is essentially an "Owner's Manual" providing essential information for the design of all improvements on the individual properties.



REVISED 10/2005



SAMPLE HOMESITE EVALUATION HOMESITE SIX



3. DESCHUTES RIVER RANCH

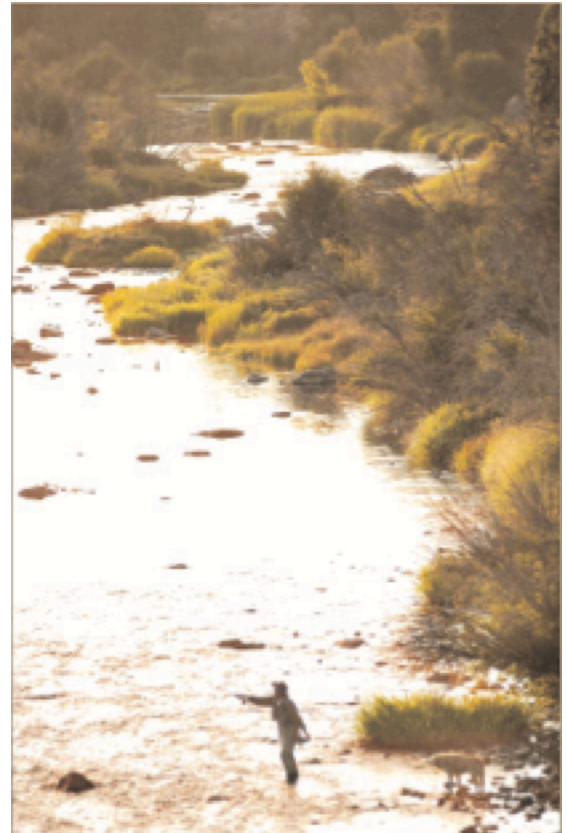
3.1 DESIGN PHILOSOPHY

Our design philosophy arises from the overall vision for

Deschutes River Ranch. The Design Guidelines have been crafted so that structures and improvements created on the Ranch will contribute to the beauty of the rural landscape.

Those living in the community and experiencing the close relationship with nature will appreciate the vision and corresponding design values which serve to:

- Preserve the diverse beauty of rural agricultural, riparian and pristine upland wildlife area.
- Preserve view corridors, privacy, aesthetic beauty and value.
- Build structures that complement, rather than compete with, the landscape.
- Maintain open space for the protection of wildlife and the enjoyment of residents.



3.2 HISTORY

Marshall Awbrey, known by all as Marsh, was a pioneer of the Northwest and the original settler of what is now the Deschutes River Ranch. From what we know of Marsh, we believe he would have been pleased with the vision for DRR. He was a man who loved animals, nature and the beauty of Central Oregon.

DRR is carefully planned to protect and respect its extraordinary setting along the famous Deschutes River. Eons of the rivers murmuring flows have deposited rich productive soils creating this rural agricultural zone in the heart of Central Oregon. The special advantage of the Ranch's location along the Deschutes gives the property great diversity with pristine examples of all that make Central Oregon so attractive: snow-capped Cascade mountain views, rolling pastures, upland sage and grass meadows, ancient juniper, classic specimens of towering Ponderosa Pine and of course the beauty of the river itself.

4. DESIGN REVIEW PROCESS

4.1 ARCHITECTURAL DESIGN SUBMITTAL

Get to Know the Site

Each residence at the Ranch should reflect its locale, create a living environment that responds to the individual site and conforms to the overall character of all DRR homes in its particular neighborhood. Because conditions vary throughout the Ranch, homesite owners should get to know the entire project and how it relates to their homesite. Walking the area, experiencing the views, and considering the vision for the Ranch as outlined in the Design Philosophy will combine to help shape the orientation and design of the future residence. Also, review this Manual and become acquainted with all the other documents that serve to regulate and guide development at DRR.

Choose an Architect/Designer

A licensed architect or approved designer must design each residence at DRR. Specialized design skills and an understanding of site and environmental possibilities is of major importance to realize the special character and quality you will want in your residence. Be sure that your architect or designer reads the Design Guidelines and becomes familiar with this document. Your architect should also be aware of and follow the documents referred to in the Governing Regulations.

Pre-design Meeting

Schedule a Pre-design meeting with the Design Review Committee - Homeowners and their architects are asked to meet with the Committee to discuss their particular site and identify the unique opportunities and any concerns prior to preparing a design or any proposed improvements. This meeting will provide guidance prior to the initiation of design work and will outline the expectations of the Committee with respect to general design quality and standards required at DRR.

Architectural Design

After thorough review of the Design Guidelines and the Pre-design Meeting, have the architect prepare the Architectural Design for the homesite. The purpose is to communicate to the Committee the design intentions. This review is important to ensure that the initial design conforms to the concepts contained in these Design Guidelines. An early response by the Committee is intended to avert wasted time and professional fees that result from pursuing a design that may be in conflict with the Design Guidelines. The Architectural Design Submittal must include the application form (Appendix D) and the appropriate submittal fee.

The Architectural Design Submittal shall include three complete sets of the following:

1. A written explanation of the design approach.
2. A graphic explanation of the design concept including Site Plan, Floor Plans and Exterior Elevations of all structures which outlines the overall design intent.
3. A list of proposed materials including siding, trim, roofing, decking, window and door types and all exterior materials or surfaces included in the design concept.

The Architectural Design Submittal can be prepared in any format, but must be clearly labeled with pertinent information, including the document date, homesite number, name, address and telephone

number of the owner and architect. The complete Design Submittal and application should be submitted to the Committee. Allow 15 days for a written response from the Committee. The Committee may extend its response if the Committee finds the submittal incomplete. In the event the Architectural Design Submittal is denied and a re-submittal is also denied, additional re-review fees will be charged for each additional submittal in accordance with the schedule in Appendix F.

4.2 CONSTRUCTION DOCUMENT SUBMITTAL

Construction Documents

After approval of the Architectural Design Submittal, you are ready to proceed with the detailed construction documents. This section describes the process and requirements for submitting these documents.

The Construction Document Submittal shall include three complete blue print sized sets of the following:

1. *Vicinity Plan:*

Indicate proposed site in relationship to adjoining properties and residences (where applicable) within 500 feet. Note that this data is available for most home sites, the DRC will be happy to provide digital or hard copies of this information where available.

2. *Site Plan:*

Indicate proposed building footprint, approved building envelope, roof line, property boundaries and easements, utility locations (including connection to the DRR subsurface community drainage system, if applicable - see sect. 8.17 for details), utility meter locations, existing vegetation as well as any and all proposed tree removal, water feature locations, existing and proposed one foot contours, areas of cut and fill, drainage direction and swale locations, proposed roads, driveways, trails, bridges, decks and any other proposed improvements. In determining the proper location for each, the Committee shall consider the location of existing and future improvements on adjacent sites as well as such other economic or aesthetic considerations the Committee may deem appropriate. DRR setbacks are measured to foundation not to roofline. Indicate scale and north direction; take special precaution to clearly indicate how surface and subsurface drainage (if appropriate) is to be handled. Owners must design drainage to retain all non-natural runoff (e.g.: roof runoff) within the confines of their property boundaries.

- a. At this point your General Contractor or Architect needs to do a preliminary staking of the property showing locations of all property corners, all building corners, all building envelope corners and the driveway. The committee will need this in place to walk the site and fully review the submittal. Stakeout inspections shall only be conducted at a time when the site is free from snow.

3. *Floor Plans and Roof Plans:*

Include all floor plans and roof plan indicating roof penetrations, overhangs and proximity to property lines.

4. Exterior Elevations and Details:

Indicate the exterior appearance of all elevation views (usually four) of all proposed structures labeled in accordance with the Site Plan, the height of chimney (if proposed), natural and proposed finished grades, skylights and all above-ground utility meters and boxes. Describe all exterior materials, colors and finishes (walls, roofs, trim, chimneys, windows, doors, light-fixtures, stone, etc.) The elevation drawings should indicate material textures. Provide design details to sufficiently represent the visual expression of the building, exposed connections and material interfaces.

5. Building Sections:

Indicate building walls, floors, roof eaves and fascia detail, deck railing, interior relationships, existing and finished exterior grades and any other information to clearly describe the exterior relationships of the building.

6. Material Sample Board:

For the Committee's permanent records, provide an 8-1/2"x 11" typed summary that clearly states the manufacturer's colors, style, brand names or other identifying information for proposed materials shown on the board (material can usually fit on a 30 by 42-inch board).

The Material Sample Board should depict:

- Roof and flashing materials and colors
- Wall materials and colors
- Exterior trim materials and colors
- Fireplace materials
- Window brand, material and color
- Exterior door material and color
- Samples of stone/rock and mortar
- Exterior light fixtures, artwork & hardware
- Walkway and driveway materials if other than asphalt or concrete

The Committee will retain this sample board until build is complete. The sample board must be marked with the owner's name and address. Samples must be identified with the manufacturer's name, color and/or number, model types or other relevant identifying information.

7. Landscape Plan:

- a. Proposed plant materials (names, sizes, quantities)
- b. Existing plant materials (names and sizes)
- c. Locations of existing plant materials scheduled for removal (removal requires DRC approval)
- d. Decks, pavements, service yards, driveways and other proposed freestanding structures
- e. Locations for added rockery or boulders
- f. Landscape plan should take wildfire prevention into consideration
- g. Proposed spa locations and required visual screening.

See Appendices A, B and C for lists of approved plants and designated zones. Plants not shown on the lists must be approved by the Committee.

8. Construction Schedule:

A printed Construction Schedule including start, progress milestone and estimated completion dates of the residence, as well as the landscape work, must be provided. Documents required for the Construction Document Submittal and Application Fees are to be submitted to the Committee; allow 15 days for a written response from the Committee. The Committee may extend its response time as appropriate if the Committee deems the submittal to be incomplete. The Construction Document Submittal must include the application form (Appendix E) and the appropriate Submittal Fee. The Committee will review the Construction Document Submittal for compliance with the previously approved Architectural Design Submittal and to ensure it is in alignment with the intent of the Design Guidelines.

4.3 BUILDING PERMIT

Upon approval of your Construction Document Submittal by the Committee, you must obtain a Building Permit from Deschutes County. Owners are advised that the County may have additional submittal requirements to be met before issuance of a Building Permit. Because of the pre-existence of homes on DRR community homesites, provisional building permits are filed with the County to allow for replacement of homes on these sites. Please consult with the County for any questions you may have and/or information you may need regarding building permits. Committee approval should be obtained prior to submitting for permits with the County to ensure no discrepancy exists between the County and DRC approvals. All discrepancies should be resolved in a timely manner and no building shall commence until all discrepancies have been resolved.

4.4 BUILDING SITE SURVEY

1. Site Staking:

- b. Site must be staked by a professional surveyor to clearly show all property corners, all building corners, all building envelope corners, driveways and other improvements prior to foundation being poured. This site staking must match approved site plan.
- c. Driveway locations should be staked at each side of the drive at 10-foot intervals from the access road to the site.

4.5 CONSTRUCTION THROUGH COMPLETION

1. On-site Inspections:

During construction of your residence, Committee members will conduct periodic inspections. It is the responsibility of the Owner to ensure that construction conforms to the plans and all DRR construction rules.

2. Project Completion Review:

To ensure that the completed residence is consistent and in accordance with the approved Construction Document Submittal, a Project Completion Review will be required. You should inform the Committee of Project Completion. The Committee will respond within 14 days of completion notification regarding the conformance or non-conformance of the residence and site construction. At the discretion of the Committee the construction deposit (paid in accordance with fees required in Appendix F) will be refunded after compliance with the Construction Document Submittal is established, and after any uncollected fines or reimbursements for uncorrected damage to DRR property have been deducted.

3. Changes in Plans:

No significant changes in plans or materials previously approved by the Committee may be undertaken without advanced written Committee approval. No work shall be undertaken (other than routine maintenance and repair) which will result in changes to the exterior building appearance, or landscape improvements, without prior written approval of the Committee.

4. Certificate of Occupancy:

The owner must furnish a copy of the Deschutes County Certificate of Occupancy to the Committee upon completion of the dwelling and homesite improvements.

5. SITE DESIGN GUIDELINES**5.1 GENERAL DESIGN CONSIDERATIONS**

The harmonious integration of new residential construction and landscape improvements with the natural landscape is of paramount importance at DRR. The intent of this section is to ensure that adverse impact to the land is minimized. Careful placement of improvements combined with the creation of natural areas that will remain free of disruption, together with the incorporation of certain performance standards and management programs, will aid in maintaining the current rural character of the desert/alpine setting.

5.2 LAND USE CATEGORIES

The residential areas of DRR are divided into the following land use categories:

Common Maintenance Area

The areas designated in the CC&Rs which are for the use and benefit of all Owners and Residents at DRR, together with all improvements constructed thereon.

Private Owner Parcels

The privately-owned areas within the subdivision plat, commonly referred to as an Owner's homesite.

Building Envelope

Also known as the building site, this is an area designated on each homesite that shall be for the exclusive use of its Owner, within which building may occur subject to the Design Guidelines.

5.3 BUILDING ENVELOPES AND SETBACKS

Homesite improvements, including building, accessory buildings, walls, fences and recreational improvements must be placed within the Building Envelope unless specific modification is approved in writing by the Committee as further described below. Landscaping may occur outside the Building Envelope subject to the Landscape Guidelines. Setbacks are measured from foundation and designated Building Envelopes generally shall be subject to the following setbacks, (but do vary from lot to lot):

- A. Front yards adjoining the street: 40 feet
- B. Side yards: 25 feet
- C. Rear yards: 25 feet

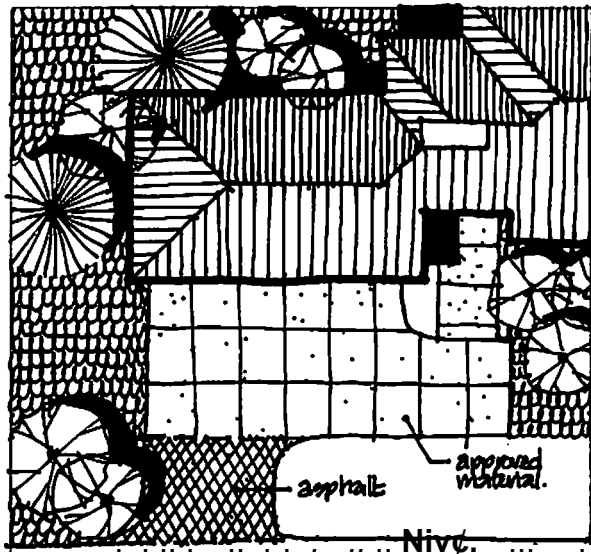
Exceptions to the above setbacks, if any, are detailed on the respective Homesite Evaluation Plans or with the Deschutes County Planning Department.

5.4 BUILDING ENVELOPE ALTERATIONS

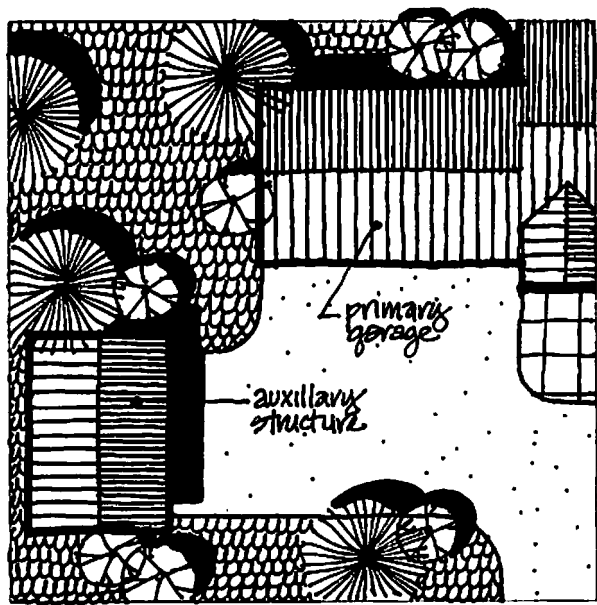
Existing Building envelopes are governed by a combination of Deschutes County setback requirements and DRR setback restrictions. Each Building Envelope has been carefully developed to ensure and to maintain optimal views, privacy and separation. As a result, no alterations from the designated Building Envelope will be granted unless there are compelling reasons and/or issues overlooked in the original defining of the building envelopes.

5.5 DRIVEWAYS

The construction and maintenance of driveways shall be the responsibility of the individual homeowner. Placement of the driveway is subject to the approval of the Committee. No more than one driveway intersection per residence with the adjoining road will be approved. Driveways shall be a maximum of 16 feet wide, running from the access road to the property line of the homesite; this first driveway section must be perpendicular to the road. Driveways shall be constructed of asphalt or other material approved by the Committee.



Example: Driveway



Example: Garage/Parking

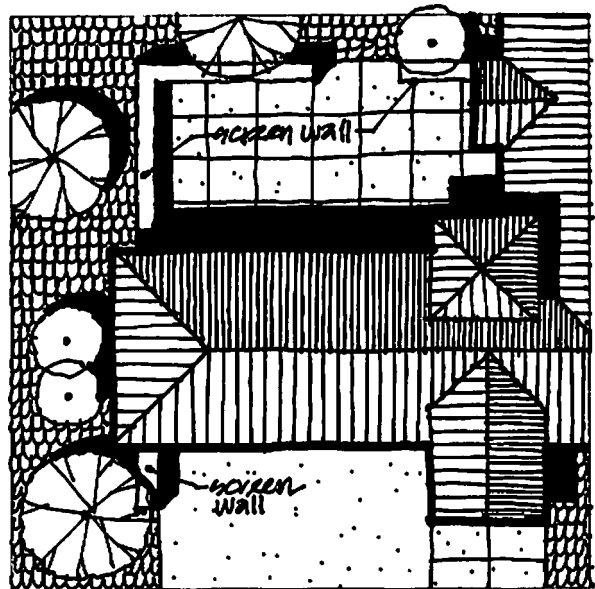
5.6 GARAGES AND PARKING SPACES

Garages must be architecturally integrated with the residential design of the main building. They may be either attached or detached. Each home must have an enclosed garage for at least two cars. Each home must have a minimum of two off roadway guest parking spaces. Trailers, motor (mobile) homes, trucks, boats, boat trailers, tractors, vehicles other than automobiles, campers not on truck, snow removal equipment and garden or maintenance equipment shall be prohibited unless it can be kept in an enclosed structure or adequately screened from view from adjacent homesites, DRR trails and roads at all times except when in use (Please review CC&Rs section 9.6). Owners are encouraged to discuss any special requirements with the Committee at the Pre-Design Meeting.

5.7 FENCES AND PRIVACY WALLS

Fences, walls and barrier devices may be used for privacy and screening purposes within the Building Envelope but must be incorporated into the total residential structure design. (See example to the right.)

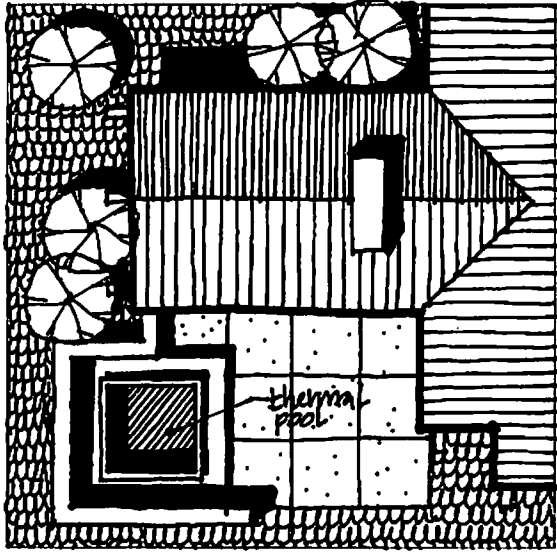
The construction of fences along property lines is strictly prohibited on subdivision lots. In order to maintain existing wildlife movement and natural open space, the Committee shall review the design, placement, appearance, appropriateness, size, materials and construction of such structures and fencing in relation to the proposed and neighboring sites on all subdivision and estate lots. The above referenced is to be reviewed and approved by the Committee for initial construction as well as any future changes or improvements. Chain link, concrete block, glass block or wire fencing is prohibited.



Example: Fences/Privacy Walls

5.8 SOLID WASTE CONTAINERS

All solid waste location shall be screened and such locations shall be reviewed and approved by the Committee. All firewood and miscellaneous landscape maintenance equipment must be also be screened from view of surrounding streets, trails and neighboring properties or within an approved structure.



Example: Thermal Pool

5.9 THERMAL POOLS

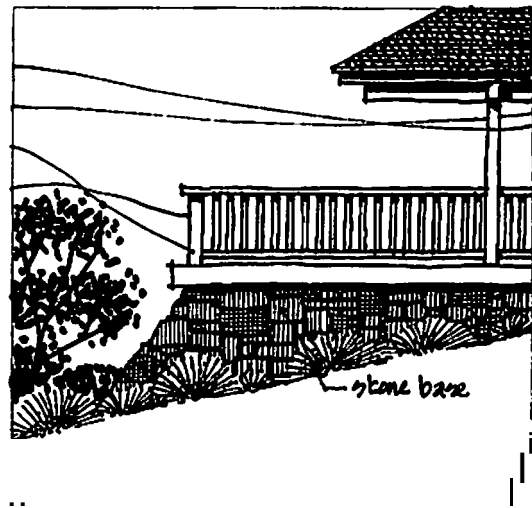
Thermal pools will be permitted within the Building Envelope. However, they must be visually screened from adjacent home sites by landscaping and/or fencing to be approved by the Committee. (See example to the left.)

5.10 AUXILIARY STRUCTURES

Auxiliary structures are permitted within the Building Envelope. The structures must conform to the architectural vernacular of the main residence.

5.11 DECKS

Decks, as extensions of the primary living spaces, must be designed to minimize impact on neighboring properties while maintaining a strong relationship with the landscape. Visually appealing, smaller use-oriented decks without long runs are required. The use of real wood, timber or stone wall recessed deck skirting is required. (See example to the right.) All materials and designs to be reviewed and approved by the Committee.



Example: Deck support

5.12 SIGNS

Address identification signs for each residence are required and must be reviewed and approved by the Committee.

5.13 EXTERIOR LIGHTING

No exterior light whose direct source is visible from a neighboring property or which produces excessive glare to neighboring properties or to pedestrian or vehicular traffic, shall be installed. Indirect sources and fixtures with shades and/or opaque glass covering are required (see Deschutes County minimum requirements) and provide general ambient light. No lighting with exposed bulbs shall be allowed. Specific approval by the Committee will be required for use of other than white or pale-yellow exterior lights. Final approval of the proposed illumination plan and all exterior fixtures is be required by the Committee.

5.14 NATURAL DRAINAGE

Drainage-ways should be maintained in as near natural condition as possible. This is recommended so that the volume of run-off entering and leaving the site does not change significantly, and any pollutants generated on-site do not reach waterways. If drainage courses are disrupted, they should be rehabilitated to match their natural state as much as possible. Open grass-lined swales are preferred over artificial channel and piping.

Drainage should be designed to prevent water flows in the direction of the road or adjacent houses. To accomplish this, site plans must indicate site and road edge swales with drainage to retention ponds or dry wells.

Driveways should be designed to channel run-off into roadside swales paralleling the road, in order to minimize the need for culverts and to clean run-off before it reaches waterways. Swales should be vegetated and/or rock-lined to prevent erosion.

Each owner shall provide a drainage plan and effort should be made to contain all runoff on subject property to avoid washing out neighboring properties, roadways and common areas. A drainage plan shall be shown on initial site plan and finalized with Committee approval required in the landscaping plan.

5.15 PET CONTROL

Pets may be contained within a fenced kennel or dog run located within the Building Envelope. However, invisible electronic fences are preferred. On a case-by-case basis the Committee may establish a minimum setback from adjoining properties and portions of the subject parcel on which a pet run area may be permitted. The Committee must approve such improvements.

5.16 SITE MANAGEMENT

All Owners should adhere to the following planning and design considerations, as the potential for wildfire should be the concern of every Owner:

1. All dead vegetation should be removed from the home site.
2. A distance of 30 feet of non-combustible space is recommended around the residence. Irrigation is encouraged in this area.
3. Firewood should be stored in separate structures.
4. New trees which mature to a tall height should be planted at least 10' from the roof fascia.
5. All chimneys should be equipped with UL or I.C.B.U. approved spark arrester.
6. All roofs and gutters should be kept free of leaves and pine needles.
7. Plants contiguous to building structures should be irrigated.

6. ARCHITECTURAL DESIGN GUIDELINES

6.1 DESIGN INTENT

Architecturally diverse, yet unified in the use of natural materials, the homes of Deschutes River Ranch are intended to represent the architectural heritage of Central Oregon and the Intermountain West.

Architectural Design Submittals will be reviewed based upon architectural quality and detail over architectural style. While diverse architectural style is encouraged, it is intended that all homes designed and constructed at the Ranch are relevant to history and landscape of their surroundings.

6.2 GENERAL DESIGN CONSIDERATIONS

DRR is a planned development and special consideration must be given to the placement of all improvements with emphasis on the relationship to existing grades, preservation of natural site features, trees and the relationship to neighboring sites and vistas. All residences will have exterior elevations, roofs and details that shall be coordinated and consistent in their architectural treatment. The harmony between all designs throughout the Ranch is extremely important.

6.3 BUILDING HEIGHT

Building height limits have been established to promote structures that are compatible with surrounding natural features, while not detracting from views to and from neighboring home sites. Where not otherwise specified, the maximum height of residential homes (as well as home sites not within the designated landscape management zone) shall reveal no more than 30 feet of visible height from existing grade (including chimneys and mechanical vents). Guidelines regarding building height are expanded in Appendix G and will be an important point of discussion in the Pre-design Meeting.

6.4 BUILDING SQUARE FOOTAGE

Excluding garages, residences will have a minimum of 2,300 square feet of interior space. The total building square footage on a homesite shall be limited by the defined Building Envelope and Building Height. In the case of an exposed walkout basement, the floor area of the basement will be included in the calculations because the massing and the proportions of the entire structure would then be affected.

6.5 EXTERIOR WALLS AND FINISHES

The basic wall materials for all residences and ancillary structures shall be of wood and masonry. Preferable wood siding materials are tongue and groove, board and batten, plank, stone, natural stucco or shingle. All wood siding shall remain natural in appearance; however, it may be stained, solid body stained or painted as approved by the Committee. Care should be taken to avoid conditions that will produce water staining on the siding.

The use of stone is required as a significant architectural feature; however, it shall be natural stone, preferably native, stream or fieldstone. Brick, faux stone, glass block and exposed unit masonry are prohibited. The incorporation of garden and site walls of native stone is encouraged.

Particular attention should be paid to the use of stone on the structure to ensure that the stone appears to be functional and integrated into the structure of the home. It is important that it does not appear to be a cosmetic veneer or of minimal usage as in just pillar bases or minimal wainscoting. Stone courses shall continue around comers terminating in the same manner as used in a structural element. Small inlays of stone which will appear as veneers between columns (such as between garage doors) are not allowed. Sloping stone caps are to be used as opposed mortar caps.



Example: Roof Type and Configuration

6.6 ROOF TYPE AND CONFIGURATION

In general, relatively low-profile buildings with a variety in massing and rooflines are desired. Large, expansive areas of unbroken roof planes and ridgelines are undesirable. Overly complex mixes of shapes, hip, shed and gable are equally undesirable.

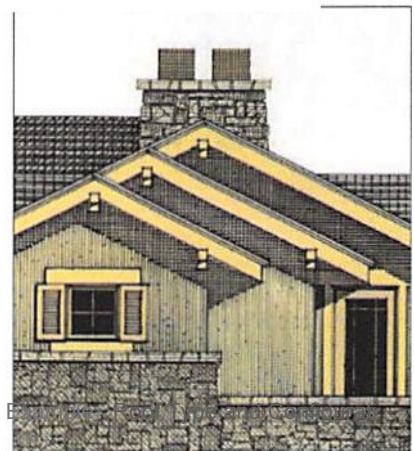
The Committee may consider further alteration of the roof pitch provided the Owner shows design benefits of a greater or lesser roof pitch, and the design contains other significant features and uses of materials to avoid a contemporary style. Gable roofs are preferable; however, shed roofs are permitted subject to the approval of the Committee. (See examples.)

The approved roof materials are natural, sawn cedar shingles or split cedar shakes and must be fire retardant; concrete shingles,

slate or clay tile, and some approved architectural quality asphalt composition roof materials.

Additional specific roof requirements are listed below:

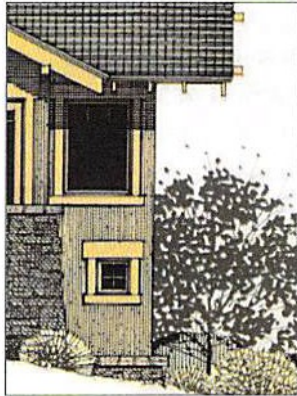
- All roof vents, plumbing vents, flues and exterior mechanical equipment shall be collected and centralized and screened from view. Where practical, incorporation within chimneys or masses is encouraged.
- All chimneys are to have roof saddles or down draft diverters, and spark arresters.
- Roof skylights are permitted subject to the approval of the Committee. Special care must be employed if skylights are to be constructed to prevent any harsh or direct light from being emitted to the exterior of the residence. The Committee will require special lighting such as parabolic lenses, or other properly screened light sources, and the Committee may limit the general level of lighting in such circumstances.
 - Heated gutters at the bottom edge of skylights are recommended.
 - All flashing and approved, unconcealed plumbing vents shall be painted to match roof color or, is to be constructed of a weathering metal, i.e. copper, bronze or zinc.
 - Large roof and eave overhangs (18" plus) are required with wood soffits.
 - Facia shall also be layered/stepped to avoid cupping and rapid deterioration from freeze / thaw cycles and to be aesthetically attractive.



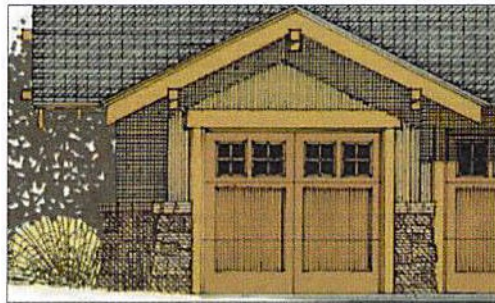
Example: Spark arrester

6.7 DOORS AND WINDOWS

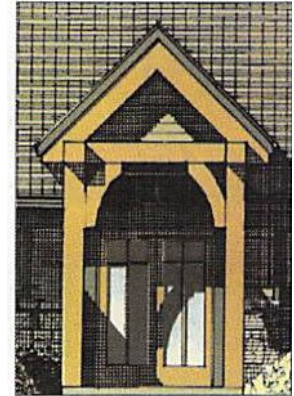
Generally, deeply recessed and articulated doorways and windows are required. Careful consideration should be given to the size, number and placement of windows to achieve an effective and sensitive counterpoint to wall surfaces. Reflective or colored glass is not acceptable. Window frames shall be wood, either finished naturally or painted a natural color. Window frame cladding is acceptable as long as the color is compatible with other elements of the building. Windows should be finished with substantial trims and sills. Mullions, muntions and divided lights are encouraged to break up larger areas of glass. (See examples below.)



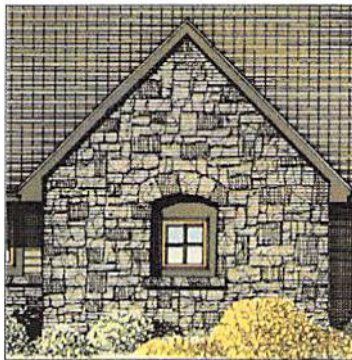
Eave and dormer detail



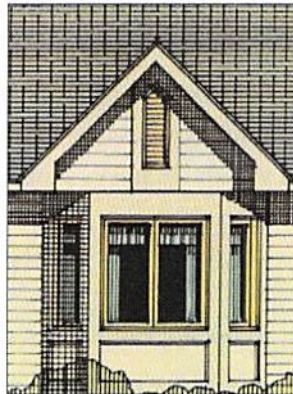
Garage door detail



Entry detail



Stone accent



Bay window detail



Window packages

6.8 ANTENNAE AND SATELLITE DISHES

Antennae and satellite dishes will not be permitted if they are visible from any other property, including trails, adjacent pastures, surrounding streets and common areas. Their location must be shown on the plans. If approved by the Committee, they must be painted to match the building and be adequately screened.

6.9 HEATING COOLING AND SPECIAL EQUIPMENT

No roof-mounted or wall-mounted heating or cooling equipment will be permitted. Exterior equipment, including any solar equipment, must be shown on the plans and must be **completely screened** for noise reduction and visual appearance from any other property, including trails, adjacent pastures, surrounding streets and common areas. See example to the right.



Example: Heating and cooling equipment

6.10 BUILDING DESIGN ELEMENTS

Roof-venting shall be continuous ridge vent. Gable ends shall be wood trimmed with integrated architectural detail or integrated dormer vents. Mushroom vents are prohibited.

The expression of protruding horizontal timber beam ends (outlooks and corbels) at ridges and eaves is required. Corbels shall be substantial and utilized as through-beams or true flying beams – no false scabbed-on corbels. For deep-cantilevered overhangs, the addition of 45-degree knee braces is desirable. Horizontal expression of beams, rafter lies or timber trusses at the gable ends is encouraged.

Exposed steel or concrete beams, columns or masses are prohibited. Over sizing of timber columns and beams for aesthetic purposes is encouraged. (See examples below)

Mechanical connections of exposed timber beams and trusses shall be either fully concealed knife plated with counter sunk connectors or bolted architectural surface plates. Exposed metal should be painted to emphasize the structure. Foundation vents should be located on the sides of the home.



Exterior stone base detail



Porch detail



Attic Vent Detail

7. LANDSCAPE DESIGN GUIDELINES

An environmental/landscape guideline has been developed to aid in establishing and maintaining standards of preservation and development.

DRR has an incredibly diverse high desert environment with its own river-canyon setting, native plants and wildlife habitat. It is a natural place where one can live peacefully as part of the natural community and the entire ranch becomes a backyard. The need exists to preserve this innate beauty, to develop continuity and to blend our structures with this environment.

The way each individual home achieves the sense of openness, naturalness or wildness, is through architectural design, color and landscaping. The vision is associated with the idea of a western ranch which hasn't been segregated by fences. All who are part of the Ranch Community have/will have a special appreciation for its unique and tranquil setting and sense of co-adaptation between natural and cultural communities.

7.1 GENERAL DESIGN CONSIDERATIONS

This guide is intended to help you, your landscape design consultant and/or contractor understand the rules and the necessary approval process relating to landscaping your home site.

Extent of landscaping:

Extensive landscaping is not required, and the DRC encourages natural landscaping in keeping with area water conservation efforts; however, all home sites shall be maintained to present an attractive appearance and to moderate the problems of weeds and wind-blown dust.

All areas damaged by construction must be restored at the time of landscaping, through transplanting and randomly spaced native fescue grasses and sagebrush. Native plant material will likely require water for the first year, so it is therefore recommended that transplanting take place during the wet season. Property owners shall promptly replace dead or dying native plants in a restoration area and keep noxious weeds, such as Knapweed, Cheat Grass and Russian Thistle to a minimum at all times. We strongly recommend the use of a weed pre-emergent in conjunction with a new landscape.

Conservation:

Conservation of native landscape trees, shrubs, grasses and major terrain features are to be preserved, and must be marked and protected by flagging and/or fencing during construction. The Design Review Committee shall have final approval of any proposed removals.

Areas of individual home sites exposed to other home sites and roadways should be treated in a casual, fluid manner so as to integrate comfortably with the natural setting of DRR. Formal, regimented plantings are strongly discouraged. Shrubs, trees and other plants should be arranged in groupings.

Landscape construction must be finalized within the allowed one year construction period. Failure to do so may result in the forfeiture of a portion, or all thereof, of the original Construction Deposit.

Turf:

Lawn areas should be kept to a minimum and will be reviewed on an individual basis. Lawns should be kept back at least 4 feet from the street and property lines and shall not extend beyond the interior zone. Lawn edges should be free form with undulating edges that may or may not connect with the neighbor's lawn. One continuous flowing landscape is the theme to the overall DRR design.

Bark:

Bark mulch is approved for the interior and transition zones, installed at a minimum of 3-inch depth, and shall not be installed in drainage ways. Natural brown, dark brown to blackish mulch is allowed for its ability to blend naturally – no dyed bark.

Landscapes Rocks:

Rocks used in landscaping should blend with the naturally occurring rocks in DRR. Broken or scarred excavation rock shall not be used. Rocks should be grouped with other similar rocks of varied sizes (2' or larger) and should be partially buried to offer a natural appearance on the site. All small rock (less than 18") should be removed. Rocks should always appear as a natural feature.

Walkways and Borders:

Walkways between various areas of the home site should be of materials earthtone in color. Pavers, aggregate, gravel and flagstone are all approved materials. The homeowner's choice for materials should be included on the plan.

In most cases borders are not necessary. However, in some instances, the definition of areas between walk-ways, lawns, flower-beds and natural areas can be difficult. Many times, gravel needs to be retained in specific areas. A suggested material for use as a landscape border is bender board or wood headers. The use of small rocks is not permitted. A two-foot gravel shoulder shall align all roadways. Landscaping is prohibited within two feet of pavement.

Drainage:

All drainage systems (gutters, downspouts, chains and surface water) shall tie into dry wells, french drains and dry creek/basin areas.

Water Management and Irrigation:

Management of plant irrigation water can be accomplished by conversion to drip irrigation, using water efficient heads and by adhering to a watering schedule with an electronic controller. Watering can be affected by weather and adjustments may need to be made during extremely dry or wet periods.

The soil condition will have an effect on watering needs. Central Oregon soils are granular and porous and do not retain moisture well. Subsurface rock will also affect the absorption rate of the soil. Trees and shrubs are most effectively watered by drip emitters; watering in the turf zones and natural zones can best be achieved by spray-heads. Knowledge of plants, soils, exposure and weather are all essential in the design of an adequate sprinkler system. It is recommended that professional assistance be utilized.

Landscape Lighting:

Lighting may be incorporated into the landscape design. Limitations are that all driveway and exterior lighting must be shielded. **Exposed bulbs are not allowed.**

7.2 LANDSCAPE DESIGN SUBMITTAL

Landscape review submittals provide the DRC with the information necessary to review the proposed landscape design for compliance with the Guidelines. The DRC will respond with approval or required modifications within 15 days from the date all required documents have been received. Plans should be submitted for review within one week of window installation and before any execution of such work.

7.3 LANDSCAPE SUBMITTAL REQUIREMENTS

Landscaping submittals are to include one set of drawings which should provide the following information:

- Zone locations, quantity and sizes of all proposed plant materials
- North arrow and drawing scale
- Existing approved structures, including the footprint of the home, decks, driveway, walkways and any proposed hard features.
- Locations and identification of existing trees (designate any to be removed – removal must be approved by the DRC and possibly the Oregon State Scenic Waterway Program Manager if within the Oregon Scenic Waterway boundary) and rock outcroppings
- Outdoor lighting layout, including catalog cuts or drawings of the fixtures
- Property lines
- Existing or approved topography and proposed changes including berms, rock features, drainage swales and dry creeks.

Planting Zones

(See example on page 25 and Appendices A, B, & C)

All landscape designs regardless of the shape and location of the home site should consider utilizing three planting zones to make the transition from the heavily landscaped area to the undisturbed/indigenous areas appear natural. Plant materials featured in these guidelines were chosen for their particular adaptability to the Central Oregon High Desert bio-regions, weather and soils and for their resistance to pests and diseases.

The neighboring deer we have in our fields can be destructive to our landscapes. They're inherently curious and love sampling our new plants; but they are selective feeders. Landscaping with deer-resistant plants is an alternative, however that is not a guarantee of their feeding preferences. Many deer-resistant plants on our recommended list have been used successfully. Still, you may want to contact a local authority.

Each landscape zone must dovetail with adjacent properties.

7.4 INTERIOR LANDSCAPE ZONE 1

The Interior Zone is the area directly adjacent to the home and is reserved for the most intense and formal design elements. The Interior Zone may contain the greatest diversity of plant materials- including non-native varieties- and will most likely incorporate the use of turf grass. Zone 1 plantings typically require the most water. Elements such as birdbaths, sculptures, stream-beds, water features, etc. should be located in the Interior Zone and must be submitted for DRC approval. If added at a later time, the DRC should be contacted for approval. No additional fees will be charged at that time.

7.5 TRANSITION LANDSCAPE ZONE 2

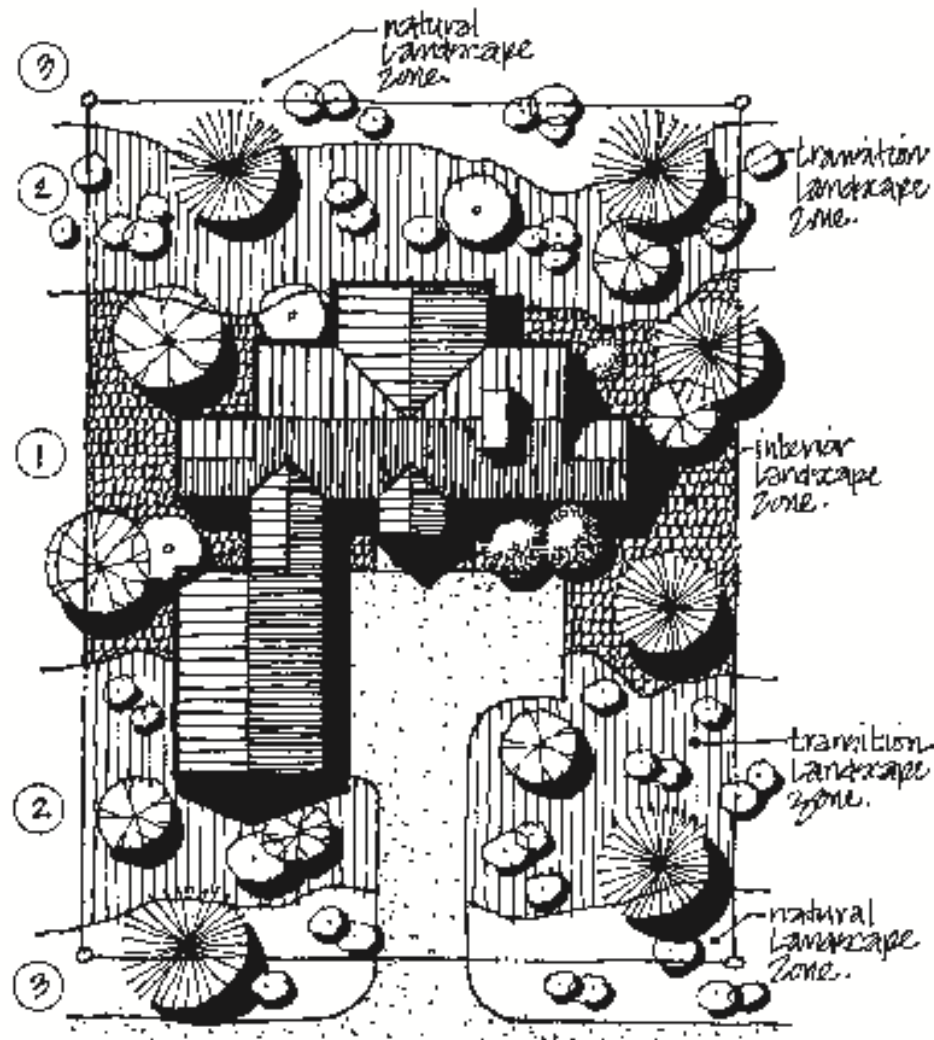
Between zones 1 and 3, the Transition Zone will serve to blend native and non-native plants and will most likely contain fewer plants than the Interior Zone. Flower and herb gardens may be integrated into the design. Vegetable gardens (which need barriers for protection from wildlife) must be developed to comply with DRR regulations.

7.6 NATURAL LANDSCAPE ZONE 3

This sensitive zone (borders roads and property lines) should contain original, natural and/or truly native plant materials. Clearing of this zone should be limited to elimination of weeds. Irrigation of this zone should be kept at a minimum to re-establish native plants during the first few years after planting. There should be no lawn in this zone except to possibly connect with an adjoining lawn.

(In reality, some home sites may not have the space to effectively implement the three-zone plan. It may be more appropriate to use the Interior Zone I and Transition Zone 2 on these home sites.)

Planting Zones



8. CONSTRUCTION REGULATIONS

To ensure that sites will not be irreparably damaged during the period a residence is being built, all Contractors and Owners shall abide by the following construction regulations.

8.1 CONSTRUCTION AREA

Prior to construction, the DRC shall be provided a detailed plan showing the areas in which all the construction activity will occur.

8.2 CONSTRUCTION ACCESS

The approved driveway for the home site will be the only approved construction access during the time a residence is being built, unless the Committee approves an alternative access point.

8.3 CONSTRUCTION TRAILERS AND TEMPORARY STRUCTURES

Temporary structures must be located on the homesite. Their size, configuration and location must be pre-approved by the Committee. All temporary structures shall be removed after the occupancy permit is issued. Any damage caused by the placement, use or removal of such structures will be promptly repaired/restored at the Owner's or Contractor's expense.

8.4 CONSTRUCTION STAGING

Construction staging areas are defined as specific areas designated within the Building Envelope for the purpose of storing, maintaining and deploying construction materials. Construction staging shall only occur in pre-approved construction staging areas.

8.5 DAILY OPERATION

Daily working hours for each construction site shall be Monday through Friday from 7:00 A.M. to 5:30 P.M. and Saturdays from 8:30 A.M. to 4:00 P.M. unless otherwise restricted or expanded by the Committee. No construction will be allowed on Sundays, New Year's Day, Memorial Day, July 4th, Labor Day, Thanksgiving or Christmas. On all other legal holidays construction will be permitted from 8:30 A.M. to 4:00 P.M.

8.7 BLASTING

Any plans to blast shall be brought to the attention of, and approved of, in writing by the Committee before commencement. Proper safety and protective actions shall be used and evidence of insurance coverage shall be provided with the DRR Community Association named as an additional insured.

8.8 DUST AND NOISE CONTROL

Every effort should be made to control dust and noise emitted from a construction area. The contractor shall be responsible for controlling excessive dust and noise from the site. The playing of radios or use of other audio equipment by construction crews is allowed only at a low volume that shall not be disruptive to neighbors.

8.9 RESTORATION AND REPAIR

Damage by contractors to any property other than the Owner's, shall be promptly repaired at the expense of the Owner employing the person or entity causing the damage. (This includes damage done by cleaning out concrete trucks on-site, damage to asphalt roads and shoulders edges, utilities, signs, vegetation, etc.) Every effort will be made to keep mud from the excavated site from the DRR roadways.

8.10 EXCAVATION

Excess excavation material shall be removed from the DRR. The material shall not be placed in open areas, roads or other homesites. Excavation, except for utility trenching, shall be done only on the homesite.

8.11 DEBRIS AND TRASH REMOVAL

Proper storage and disposal of refuse material is the Owner's and the Contractor's responsibility. Debris and trash shall be picked up daily and removed in a timely manner as not to be a nuisance and hauled to a designated dump outside DRR. Owner and Contractor will take the necessary precautions to prevent debris and/or material from blowing off the home site and shall be responsible for the cost of cleaning up blown and scattered debris from the construction site. Burning of any kind is prohibited on construction sites-including warming or trash fires.

8.12 VEHICLES AND PARKING

All vehicles will be parked within the designated construction area so as not to inhibit traffic and not damage the natural landscape. Changing oil in vehicles and equipment without proper receptacles and removal procedures is forbidden.

Special precaution must be taken for trucks and trailers over 40-feet in length to ensure they can safely negotiate throughout DRR roadways. The Owner/Contractor will be responsible for restoring any damaged roadways and/or vegetation caused by construction vehicles or equipment. Construction vehicles and equipment are required to use the designated DRR Construction Entrance east of the main entrance.

8.13 PORTABLE TOILETS

Portable toilets shall be provided by the Contractor and placed in an approved location as denoted on the site plan.

8.14 SIGNAGE

Temporary construction signs shall be limited to one sign per site, not to exceed 6 square feet of total surface area. Neutral colors and natural wood should be used. This sign will be freestanding. No signage will be placed prior to submittal of the Schematic Design of the homesite to the Committee.

Construction signs shall be promptly removed, and any resulting damage shall be repaired, upon issuance of a certificate of occupancy.

8.15 PETS

Contractors, subcontractors and their employees are prohibited from bringing dogs and other pets to the DRR construction site.

8.16 FIREARMS

There shall be no discharge of firearms by any contractors, subcontractors and their employees on DRR property.

8.17 UTILITIES

Water

Each home site has a meter; water usage is metered and billed through Avion Water.

Landscaping Water

Each home shall have an approved backflow device for providing irrigation water. Location of the back-flow device will be provided with the landscape plan submittal. Even-numbered lots (2-24 and estate lots 2 and 4) will irrigate on even-numbered days. Odd-numbered lots 0-23 and estate lots 1 and 3) shall irrigate on odd-numbered days. There will be no irrigation on the 31st day of any month.

Community Septic

A community septic system has been designed and approved by the Oregon Department of Environmental Quality (DEQ). Each home must have at least a 1,500-gallon, double chambered concrete holding tank.

Each residence will also be required to install and maintain an internal submersible pump (1/2 HP Stayright, Model #P100SI 1 with 1/4-inch flow controllers or per current professional recommendations as well as a septic control panel that is capable of collecting digital data such as an Orenco MVP panel).

Each serviced lot has a sewer lateral located at the lot line for connection to the pressurized collection system. The filtered waste is pumped to the AdvanTex treatment facility. The treatment facility recirculates the waste and pumps the treated effluent to a community drainfield.

NOTE: No water softeners shall be connected to the septic system. Water softener waste will damage the community septic system.

The community septic system has been engineered to significantly higher design standards to accommodate the size of home and lifestyles of Deschutes River Ranch residents.

**Effective on 10/25/18 all new owners purchasing between 10/25/18 and 5/23/19 will be charged a \$2500.00 connection fee.

**Effective on 5/24/19 all new owners purchasing on or after 5/24/19 will be charged a \$5000 connection fee.

This payment is due prior to the connection to the community system.

A septic system inspection is required prior to connection to the community septic system. Contractor shall notify the DRC once system is completed and ready for connection. DRC shall notify the Septic Committee and Septic Committee shall have the community septic specialist inspect the system. Connection approval is required prior to proceeding with connection. The system must be inspected annually thereafter per DEQ recommendation.

Electricity

All subdivision homesites are served by 400-amp service and estate lots by 600-amp service. The provider is Central Electric CoOp (CEC).

Telephone

Underground phone lines were installed in 2002/2003 and are available on all lots.

Cable

Cable is at the lot line.

Utility Guidelines

Your utilities should be designed and constructed for the most intensive use that can be reasonably foreseen. All utilities must be buried. Water and sewer piping must be located in different trenches, with separation distances as required by Deschutes County. Power and telephone may be in common trenches with other services if acceptable by governing building codes and regulations. Contractors should check with utility companies to determine current installation standards. Propane tanks must be buried or otherwise completely screened from view of neighbors, trails, roadways, etc...

The following general considerations are applicable to buried utilities:

- In order to avoid damage from the rocky subsoils of the area, all pipe and wiring (including wiring in conduit) should be bedded over and under with at least 4 inches of sand or pea gravel minimum, or as required by governing authority.
- No pipe or wire should be installed directly above another; at least 18 inches horizontal offset should be provided.
- Location tape should be provided with all buried utilities. Location tape above non-metallic piping should be magnetically detectable. A separate location tape should be provided for each pipe or wire even if installed in a common trench.

APPENDIX A

PLANTINGS IN THE INTERIOR LANDSCAPE ZONE 1

Austrian Pine	Moonglow Juniper
Blue Spruce	Mugho
Birch - European	Mt. Hemlock
White Alpine Fir	Murrayana Pine
Blue Atlas Cedar	Nanking Cherry*
Jacmonti or River	Rhododendron-HI,
Birch Aspen	H2 Artie Willow
Lilac	Japanese Holly-Blue Girl/Blue
Vine Maple*	Boy Azaleas
Blue Globus Spruce	Cranberry*
Birds Nest Spruce	Red Twig Dogwood*
Japanese Barberry	Cistina Plum•
Burning Bush*	Rock Daphne
Spireas	Vicarii Privet

Perennial which can be interchangeable with zone 2:

Shasta	Vinca
Daisy Iris	Daylily
Veronica	*
Wooly	Phlox Sea
Thyme Aster	Pink
Ajuga	Penstemon
Sword Fem	Lupin
	Bachelor Button

Grasses:

Turf lawn
 Fescue, Rye, Bluegrass mixes
 Natives

• Indicates plants that deer especially like to eat

APPENDIX B

PLANTINGS IN THE TRANSITION LANDSCAPE ZONE 2

Canadian Red Chokecherry*
 Red Pin-Oak
 Bristlecone
 Pine Desen
 Olive
 Murrayana
 Pine Potentilla
 Oregon Grape
 Spireas
 Mt. Ash
 Blue Mist Spirea
 Rocky Mt Maple*
 Dogwood*
 Nannyberry
 Cottoneaster, Spreading and Peking
 Wayfaring Viburnum, Arrowwood, Alfredo, Burkwoodii
 Lydia Broom

Perennials:

Catmint	Red Hot Poker*
Snow In Summer	Moss Rose
Lambs Ear	Sedums
Kinnikinnick*	Coreopsis
Creeping juniper	Iceplant
Sweet Woodruff	Pink
Ore. Grape Repens	Pussytoes
Siberian Iris*	Basket of
Virginia Creeper	Gold

Grasses - *Natural/Transition* -

Natives	Daylily*
Blue Fescue	Yucca
Buffalo Grass	Clematis
Blue Oat	s
Carex	
Fountain	

* Indicates plants that deer especially like to eat

APPENDIX C

PLANTINGS IN THE NATURAL LANDSCAPE ZONE 3

Currant*
 Serviceberry
 Western Sand Cherry*
 Fragrant Sumac
 Claveys Honeysuckle
 Buffaloberry
 Silver Sage
 Mockorange
 Snowberry
 Rabbit Brush
 Ponderosa Pine
 Great Basin
 Rye*
 Indian Blanket
 Flower Yarrow
 Blue Flax*
 Mexican
 Hat

These plants are all native and natural in appearance to this area.
 They're also drought tolerant, once established.

Grasses - *Natural/Transition*

Natives
 Blue
 Fescue
 Buffalo Grass
 Blue Oat
 Carex
 Fountain

• Indicates plants that deer especially like to eat

APPENDIX D

APPLICATION FOR ARCHITECTURAL DESIGN SUBMITTAL

Date: _____ Homesite: _____

Owner(s): _____

Address: _____

Phone: _____

Architect/Designer: _____

Address: _____

Phone: _____

This application will only be considered complete if the following are included:

1. A written explanation of the design approach.
2. Design Documents (3 sets) as follows:
 - a. **Site Plan @ 1" = 10'0"** minimum
 - b. **Floor plan(s) @ 1/4" = 1'0"**
 - c. **Exterior Elevations @ 1/4" = 1'0"**
 - d. **Site/Building section @ 1" = 10'0"** minimum
3. A list of proposed materials including siding, trim, roofing, decking, window and door types, and all exterior materials or surfaces included in the design concept.
4. A design review fee of \$250.00.

Signature of Owner or Owner's Representative: _____

APPENDIX E

APPLICATION FOR CONSTRUCTION DOCUMENT SUBMITTAL

Date: _____ Homesite: _____

Owner(s): _____

Address: _____

Phone: _____

Architect/Designer: _____

Address: _____

Phone: _____

This application will only be considered complete if the following are included:

- 1. Construction Documents (3 complete sets) as follows:
 - a. Site Plan @ 1" = 10'0" minimum
 - b. Floor plan(s) @ 1/4" = 1'0"
 - c. Exterior Elevations @ 1/4" = 1'0"
 - d. Site/Building section @ 1" = 10'0" minimum

Structural, Mechanical, and Electrical sheets, as part of the construction document package, are not required for the Construction Document Submittal unless requested by the Design Review Committee.

- 2. Material Sample Board as outlined in Section 4.2.6 of the Design Guidelines.
- 3. Construction Schedule as outlined in Section 4.2.8 of the Design Guidelines.
- 4. Site Staking as outlined in Section 4.2.9 of the Design Guidelines.
- 5. A Plan Review fee of \$500.00.

** NOTE: A Landscaping Plan shall be submitted within one week of window installation.

Signature of Owner or Owner's Representative: _____

**Appendix F Fees
and Deposits**

Architectural Design Submittal Fee	\$250.00
Construction Document Submittal Fee	\$500.00
Minor Additions and Resubmittal Fees.....	\$100.00
Construction Deposit*	\$2,500.00
Septic Hookup Fee** effective 5/24/19 for all new owners	\$5,000.00

*Construction Deposit will be refunded at completion of construction less any amounts deducted for road or common area repairs (if necessary).

**Septic Hookup fee of \$5000 for all owners that closed the sale of their lot after 5/24/19, will be due before connection to community system. All owners that closed between 10/18/18 and 5/24/19 will be charged a \$2500.00 connection fee, due before connection to community system.

Appendix G ARCHITECTURAL CHARACTER

As stated earlier in this manual, the homes of Deschutes River Ranch are intended to represent the architectural heritage of Central Oregon and the Intermountain West.

The diverse nature of the surroundings at Deschutes River Ranch provide for the opportunity to encounter the home sites from a distant perspective as well as in close proximity.

As a result, the architectural character of the homes at Deschutes River Ranch developed from the overall building massing, to the intermediate arrangement of spaces and finally the individual details.

The Distant View:

- Building massing, forms and skyline
- Roofline, building heights and roof massing

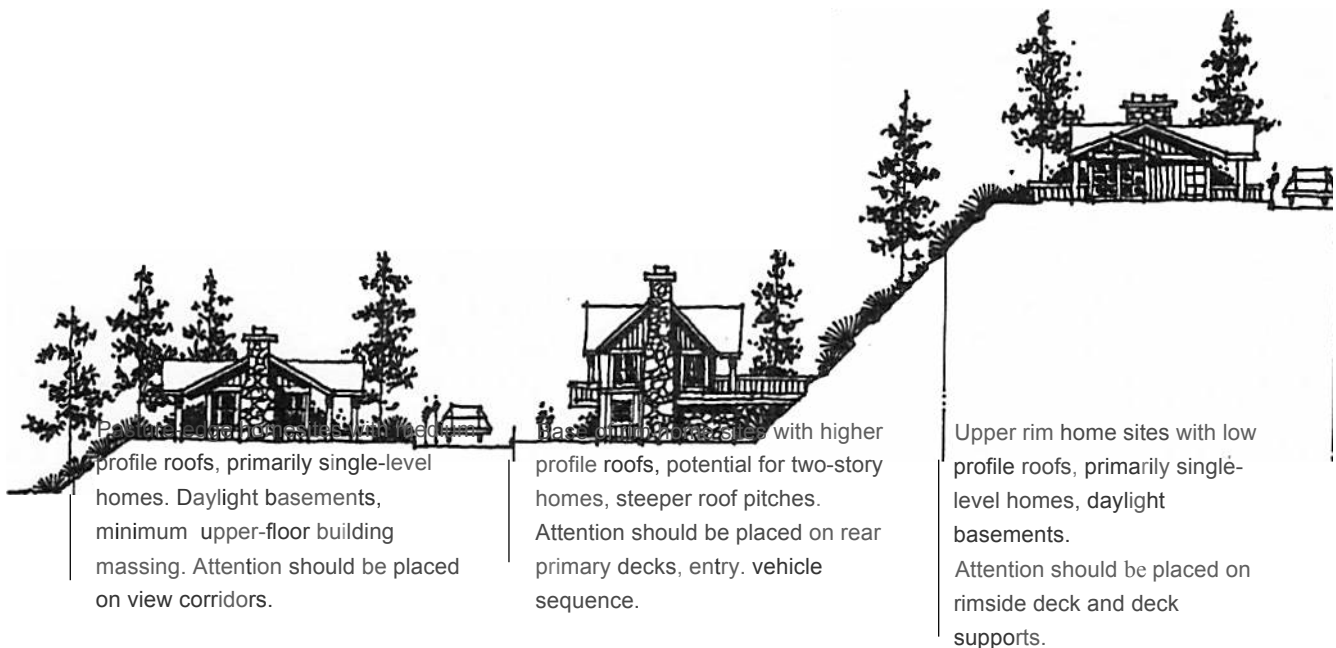
The Middle View:

- Overall roof articulation
- Landscaping, natural surroundings
- Exterior building treatments and materials

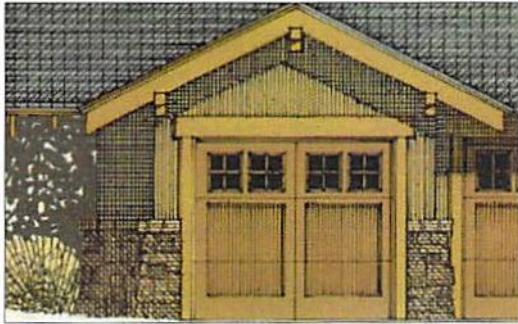
The Closer View:

- Architectural detailing
- Trim and connection details
- Color and texture

THE DISTANT VIEW



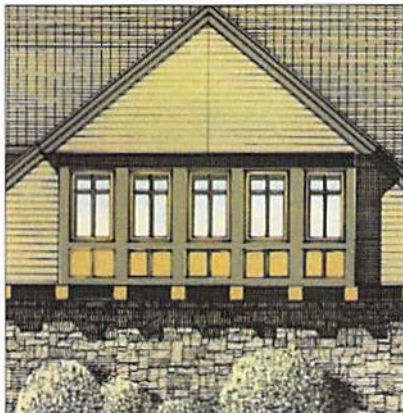
THE MIDDLE VIEW



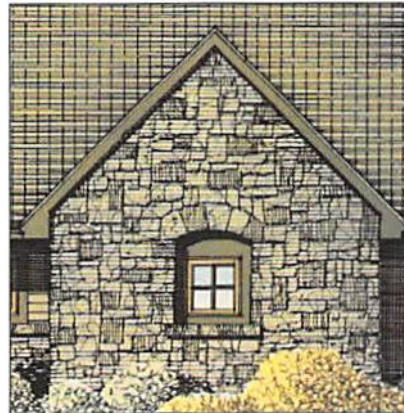
- articulated roof forms
- beam extensions
- heavy trim accents
- historical garage door treatment
- stone base



- extended overhangs on low profile roofs
- use of window shutters
- large stone massing
- diverse use of historic materials

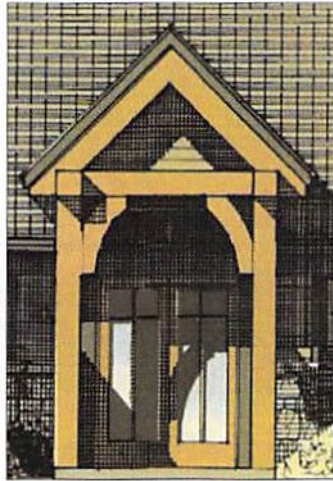


- strong stone bases
- articulated window packages
- heavy timber treatments
- base of house grows from landscape

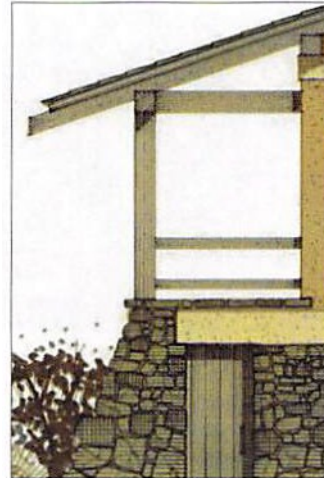


- use of historic stone facades
- alternating roof pitches
- traditional detailing

The Closer View



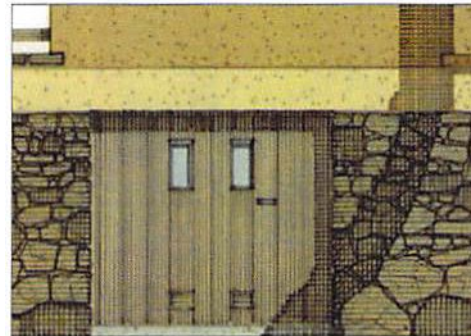
- craftsman-like beam connections
- use of natural timbers
- traditional doors and windows



- strong connection of home to earth
- multiple materials in context
- true-dimensional timbers



- traditional attic vents
- heavy trim and sill treatments



- historical garage detailing
- traditional stone headers
- large-to-small stone treatments

APPENDIX H

EXTERIOR COLORS, TEXTURES & MATERIALS

